

OVER
LOOKING

VIEWS

NOISE
SOURCE

PRIVATE
OPEN
SPACE

DENOTES AREA DEDICATED
FOR PRIVATE OPEN SPACE

DENOTES LANDSCAPING
BEHIND BUILDING LINE

DENOTES EXISTING TREE'S
TO REMAIN

DENOTES EXISTING TREE'S
TO BE REMOVED

DENOTES RETAINING
WALL BY OWNER

DENOTES SILT
FENCE BARRIER

DENOTES DROPPED
EDGE BEAM

DENOTES LINE OF
BATTER TO CUT
OR FILL

STORMWATER TO DISCHARGE INTO DESIGNATED
DISCHARGE POINT AS REQUIRED OR NOMINATED
SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
ALL GROUND LINES ARE TO BE VERIFIED ON-SITE
BY THE BUILDER.
FINAL LOCATION OF BUILDINGS TO BE VERIFIED
ON-SITE BY A REGISTERED SURVEYOR.
WRITTEN DIMENSIONS TO TAKE PRECEDENCE
OVER SCALING. ANY PLAN DISCREPANCIES TO
BE REFERRED BACK TO A&N DESIGN BEFORE
PROCEEDING

STRUCTURAL ELEMENTS SHOWN ON PLANS ARE TO BE USED AS A GUIDE ONLY. FINAL LOCATIONS AND SIZES OF STRUCTURAL ELEMENTS TO BE APPROVED BY THE ENGINEER'S AND/OR MANUFACTURER'S SPECIFICATIONS. ANY DISCREPANCIES ARE TO BE CHECKED AND VERIFIED BY BUILDER PRIOR TO COMMENCING CONSTRUCTION.

ALL KITCHEN AND JOINERY ELEMENTS SHOWN ON PLANS ARE TO BE USED AS A GUIDE ONLY. FINAL DESIGN, SELECTIONS AND SIZES TO BE AS PER JOINERY PLANS PREPARED BY OTHERS. ANY DISCREPANCIES ARE TO BE CHECKED AND VERIFIED BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

SITE CLASSIFICATION HI

CUT AND FILL HOUSE PLATFORM APPROXIMATELY
TO RL 31.765 GARAGE TO RL 30.993

HOUSE FLOOR LEVEL RL 32.15 385MM ABOVE
PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX
RL 31.378 385MM ABOVE PLATFORM LEVEL

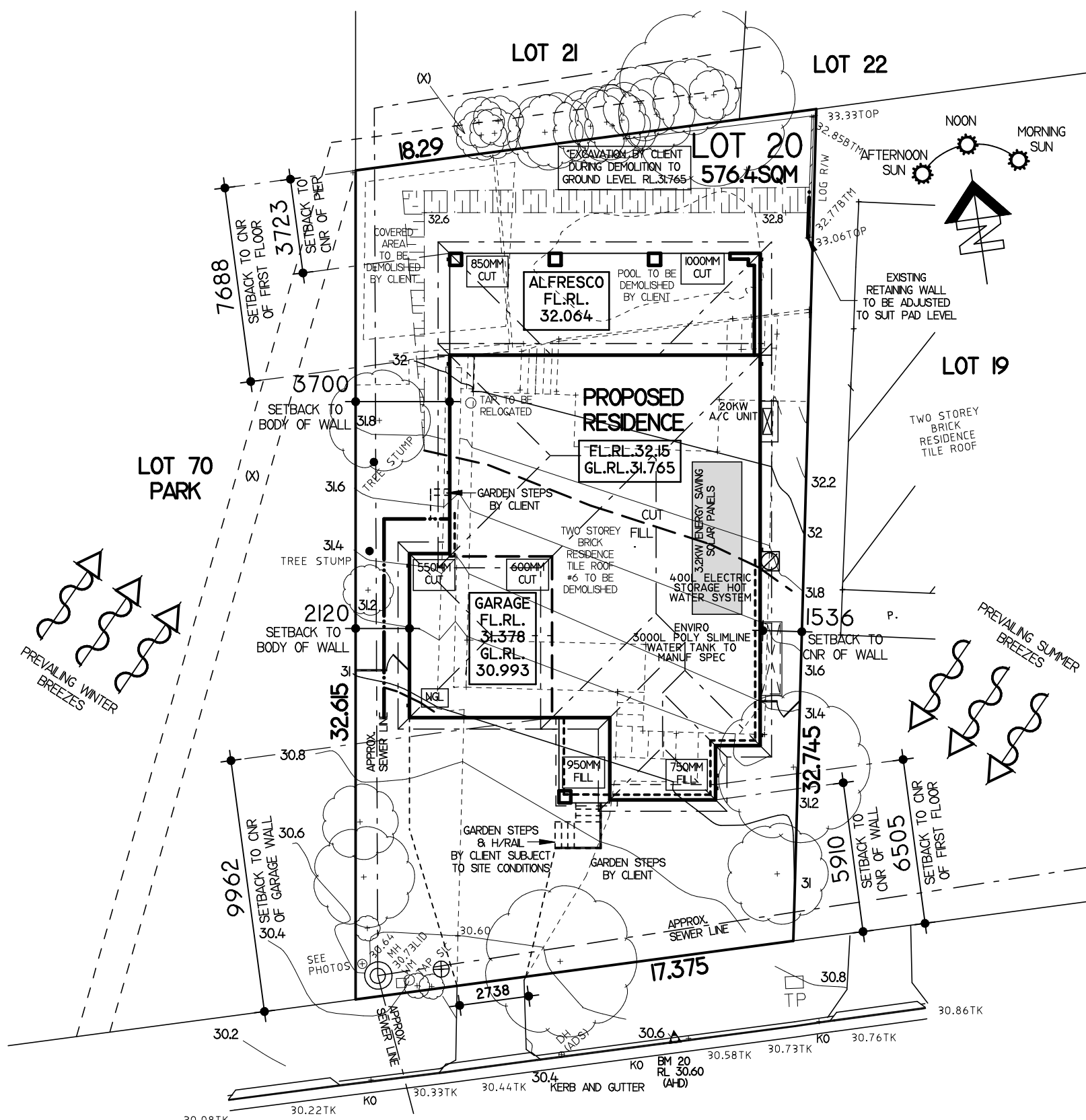
ROOF AREA: 281.4 SQM

DUE TO MODERATE TO LOW SALINE EXPOSURE CLASSIFICATION PROVIDE THE FOLLOWING:

- ACID SULPHATE SOIL REPORT
- 25MPA STRENGTH CONCRETE TO PIERS AND SL

IN LIEU OF STANDARD

PROVIDE SOLAR ELECTRICITY SYSTEM INCLUDING
INSTALLATION & CONNECTION TO METER BOX.
ADDITIONAL METER CHARGES/ INSTALLATION
FEES MAYBE CHARGED BY YOUR DISTRIBUTION
COMPANY. THE CLIENT ACKNOWLEDGES THAT THEY
MUST ASSIGN THEIR RENEWABLE ENERGY
CERTIFICATES (RECS) TO THE DESIGNATED SUPPLIER
AT COLOUR SELECTION STAGE. FINAL PANEL
LOCATION TO BE DETERMINED BY THE PANEL
SUPPLIER

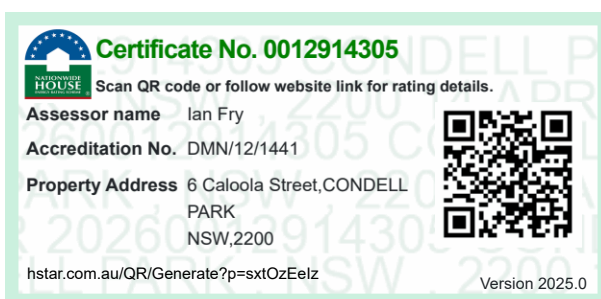




 CALoola STREET
 


SITE ANALYSIS & SITE PLAN 1:200

(X) DRAINAGE EASEMENT 1.22 WIDE



SITE AREA = 576.4 SQM

FLOOR SPACE RATIO
PERMISSIBLE = 50% OR 288.2 SQM
PROVIDED = 287.9 SQM

LANDSCAPE IN FRONT OF BUILDING LINE
AREA IN FRONT OF BUILDING LINE = 115.8 SQM
REQUIRED = 45% OR 52.1 SQM
PROVIDED = 68.4% OR 79.3 SQM

PRIVATE OPEN SPACE
REQUIRED = 80 SQM
PROVIDED = 112 SQM

CEILING LEVEL
RL 37.5

RIDGE LEVEL
RL 39.375

MAX BUILDING HEIGHT
PERMISSIBLE = 9000 MM
PROVIDED = 7875 MM

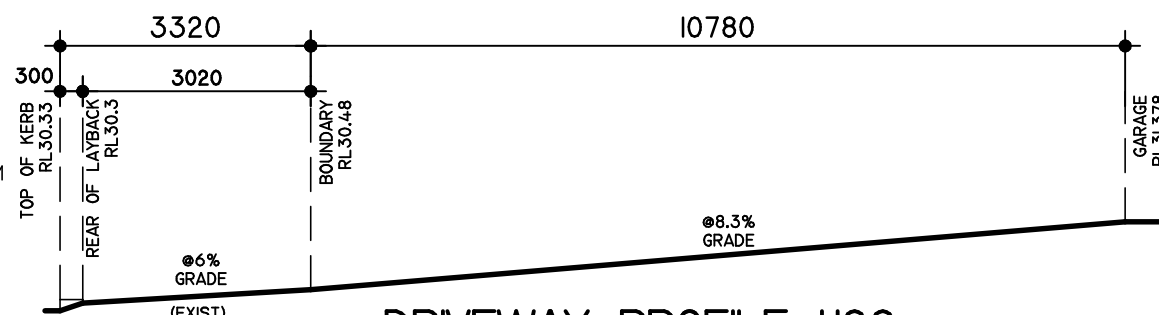
GROUND FLOOR AREA= 166.7 SQM
(NOT INCLUDING GARAGE)
GARAGE FLOOR AREA= 35.8 SQM
PORCH FLOOR AREA= 8.3 SQM
ALFRESCO FLOOR AREA= 48.9 SQM
FIRST FLOOR AREA= 164.2 SQM

TOTAL FLOOR AREA= 423.9 SQM OR 45.6 SQS

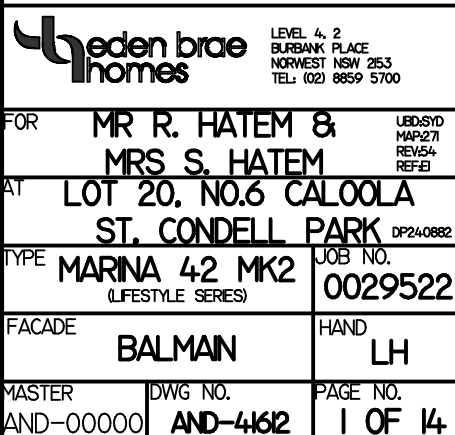
INCLUSIONS -
GROUND FLOOR AREA = 188.4 SQM
(INCLUDING GARAGE)
(EXCLUDING EXTERNAL WALL THICKNESS)
FIRST FLOOR AREA = 150.1 SQM
(EXCLUDING EXTERNAL WALL THICKNESS)

EXCLUSIONS -
FIRST FLOOR VOID SPACE = 17 SQM
PARKING = .336 SQM

TOTAL -
GROSS FLOOR AREA = 287.9 SQM



DRIVEWAY PROFILE 1:00



25-27 SOLENT CIRCUIT,
NORRMEIST LEVEL 2 SUITE
2/6 - MACARTHUR POINT
PHONE: (02) 8824 5533
WWW.ANDESIGNS.COM.AU

ISSUE	DATE	REVISION	DRAWN
A	18.11.25	SITING	JK
BI	22.01.26	RESITE	JK
C	18.3.26	CC PLANS	RL
D	22.04.26	BASIX/AMENDMENTS	JP

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LEGEND

- SMOKE ALARM *FINAL LOCATION SUBJECT TO NCC REQUIREMENTS
- ARTICULATION JOINTS *FINAL LOCATION TBC TO ENGINEERS/NCC REQUIREMENTS
- KEEP CLEAR FOR AC DUCTING
- AIR CONDITIONER DUCT
- 200MM X 400MM EAVE VENTILATION (CLIMATE ZONE 6, 7, 8 IN ACCORDANCE TO NCC10-8-3)
- DENOTES EXHAUST SYSTEM TO BE INSTALLED AS PER FLOW RATES SPECIFIED IN NCC PART 10-8-2 & MUST BE DISCHARGED DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR OR VENTILATED ROOF SPACE AS PER NCC PART 10-8-3
- DRAINAGE POINTS THROUGH WALL & ALLOW ADDITIONAL BRACING FOR FLOATING VANITIES
- DOUBLE GLAZING TO SELECTED DOORS + WINDOWS
- PROVIDE STEGBAR ENERGY EFFICIENT GLASS (LOW-E CLEAR) UPGRADE OPTION



Certificate No. 0012914305

Scan QR code or follow website link for rating details.

Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 6 Caloola Street, CONDELL PARK NSW, 2200

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Version 2025.0

NCC NOTES

FACILITIES
(DEEMED TO SATISFY PROVISION H4D5)
FACILITIES TO BE PROVIDED IN ACCORDANCE TO PART 10.4.1 TO 10.4.2 OF HOUSING PROVISIONS OF THE NCC

WET AREA WATERPROOFING
(H4D1) WET AREA FLASHING TO MEET CLAUSES 10.2.1 TO 10.2.6 AND 10.2.2 OF ABCB HOUSING PROVISIONS OF NCC 2022

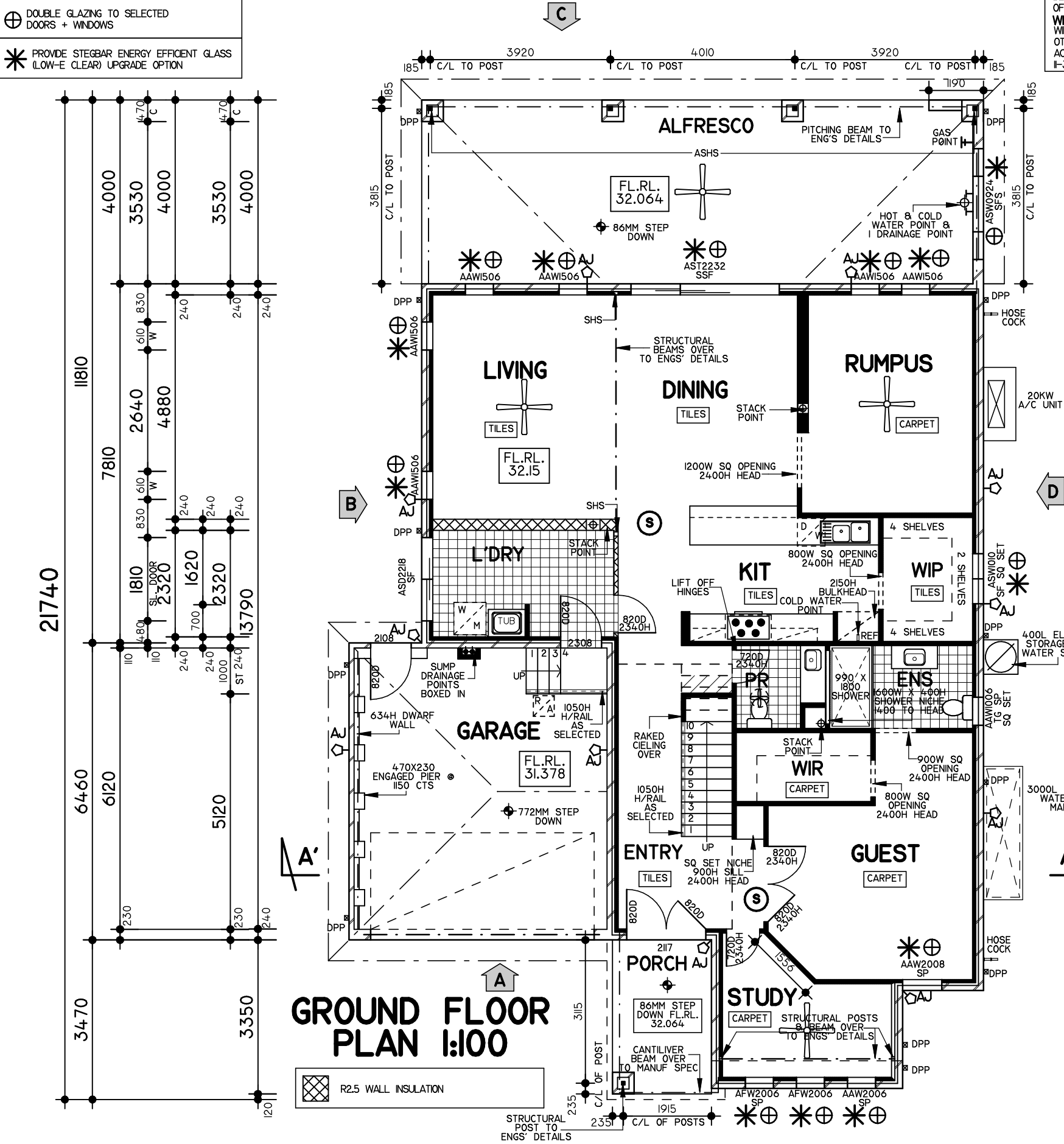
CONDENSATION MANAGEMENT
(DEEMED TO SATISFY PROVISION H4D9)
CONDENSATION MANAGEMENT SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH 10.8.1 TO 10.8.3 OF HOUSING PROVISIONS OF THE NCC

EXTERNAL WALL CONSTRUCTION
PLIABLE BUILDING MEMBRANE IN EXTERNAL WALL: TO COMPLY WITH AS4200.1 & INSTALLED IN ACCORDANCE WITH AS4200.2 PLIABLE BUILDING MEMBRANE TO MEET CLIMATE ZONE 5 OR 6

VENTILATION
(DEEMED TO SATISFY PROVISION H4D7)
VENTILATION TO BE PROVIDED IN ACCORDANCE WITH PART 10.6.1 TO 10.6.3 OF HOUSING PROVISIONS OF THE NCC

VENTILATION OF ROOF SPACES
IN CLIMATE ZONES 6, 7 AND 8, A ROOF MUST BE IN ACCORDANCE WITH PART 10.8.3 OF HOUSING PROVISIONS OF THE NCC

WINDOW PROTECTION
WINDOW PROTECTION TO BEDROOMS 8 TO OTHER ROOMS OTHER THAN BEDROOMS TO BE IN ACCORDANCE TO HOUSING PROVISION 11-3-7 TO 11-3-8 OF NCC





LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2153
TEL: (02) 8859 5700

FOR **MR R. HATEM & MRS S. HATEM**

AT **LOT 20, NO.6 CALOOLA ST. CONDELL PARK**

TYPE **MARINA 42 MK2 (LIFESTYLE SERIES)**

FACADE **BALMAIN**

MASTER **AND-00000**

UBD:SYD
MAP:271
REV:54
REF:1

JOB NO. **0029522**

HAND **LH**

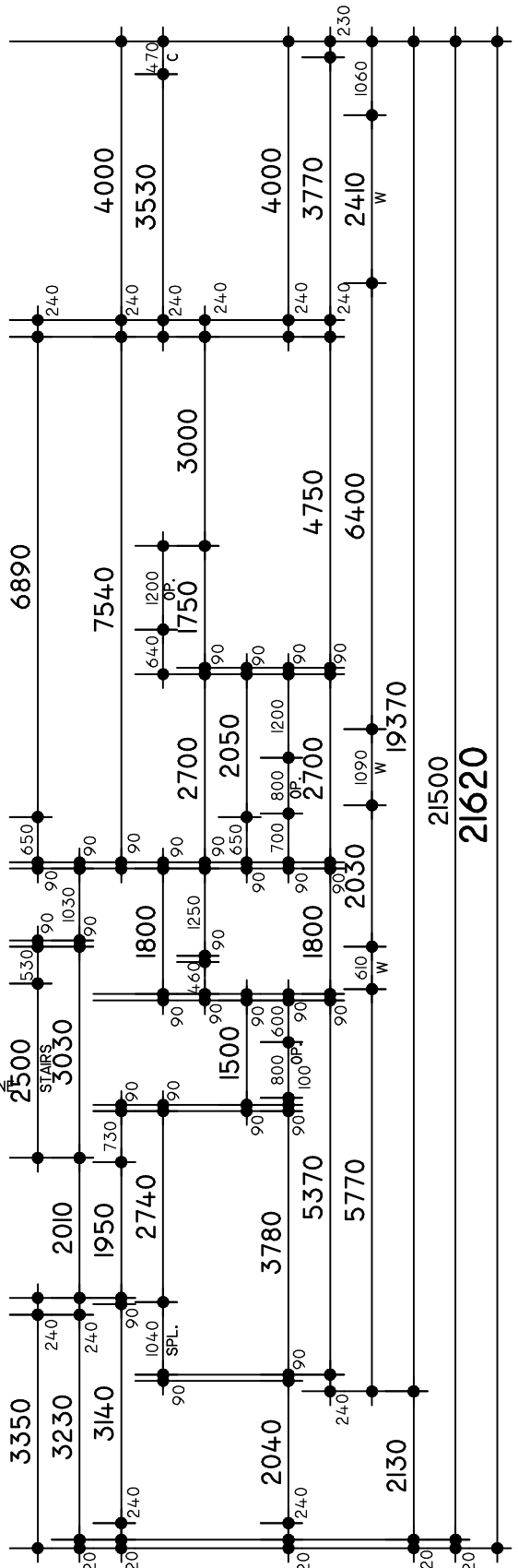
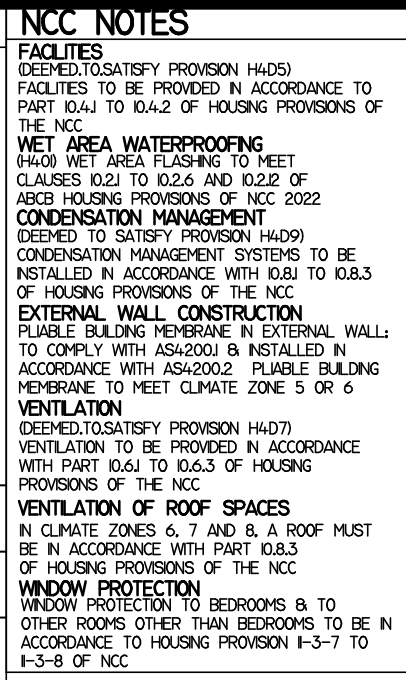
PAGE NO. **2 OF 14**



25-27 SOLENT CIRCUT,
NORWEST - LEVEL 2 SUITE
26 - MACARTHUR POINT
PHONE: (02) 8824 3533
WWW.ANDDESIGNS.COM.AU

ISSUE	DATE	REVISION	DRAWN
A	18.1.25	SITING	JK
B	22.01.26	RESITE	JK
C	18.3.26	CC PLANS	RL
D	22.04.26	BASIX/AMENDMENTS	JP

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LEGEND

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- AIR CONDITIONER DUCT
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- PROVIDE STEGBAR ENERGY EFFICIENT GLASS (LOW-E CLEAR) UPGRADE OPTION

NCC NOTES

FACILITIES
(DEEMED TO SATISFY PROVISION H4/D5)
FACILITIES TO BE PROVIDED IN ACCORDANCE TO PART 10.4.J TO 10.4.2 OF HOUSING PROVISIONS OF THE NCC

WET AREA WATERPROOFING
(H4/O) WET AREA FLASHING TO MEET CLAUSES 10.2.1 TO 10.2.6 AND 10.2.12 OF ABCB HOUSING PROVISIONS OF NCC 2022

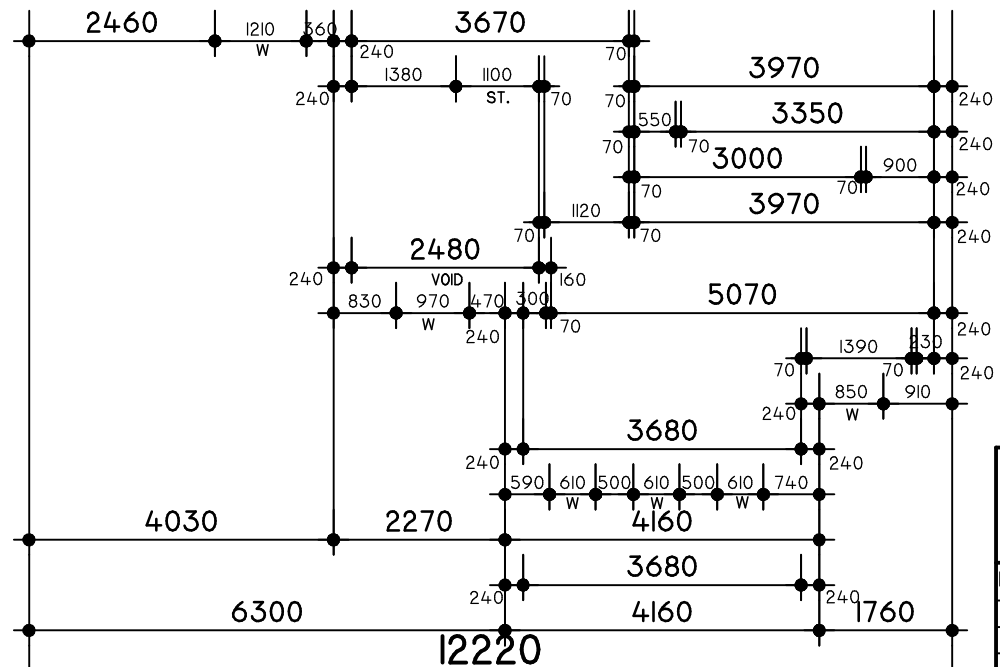
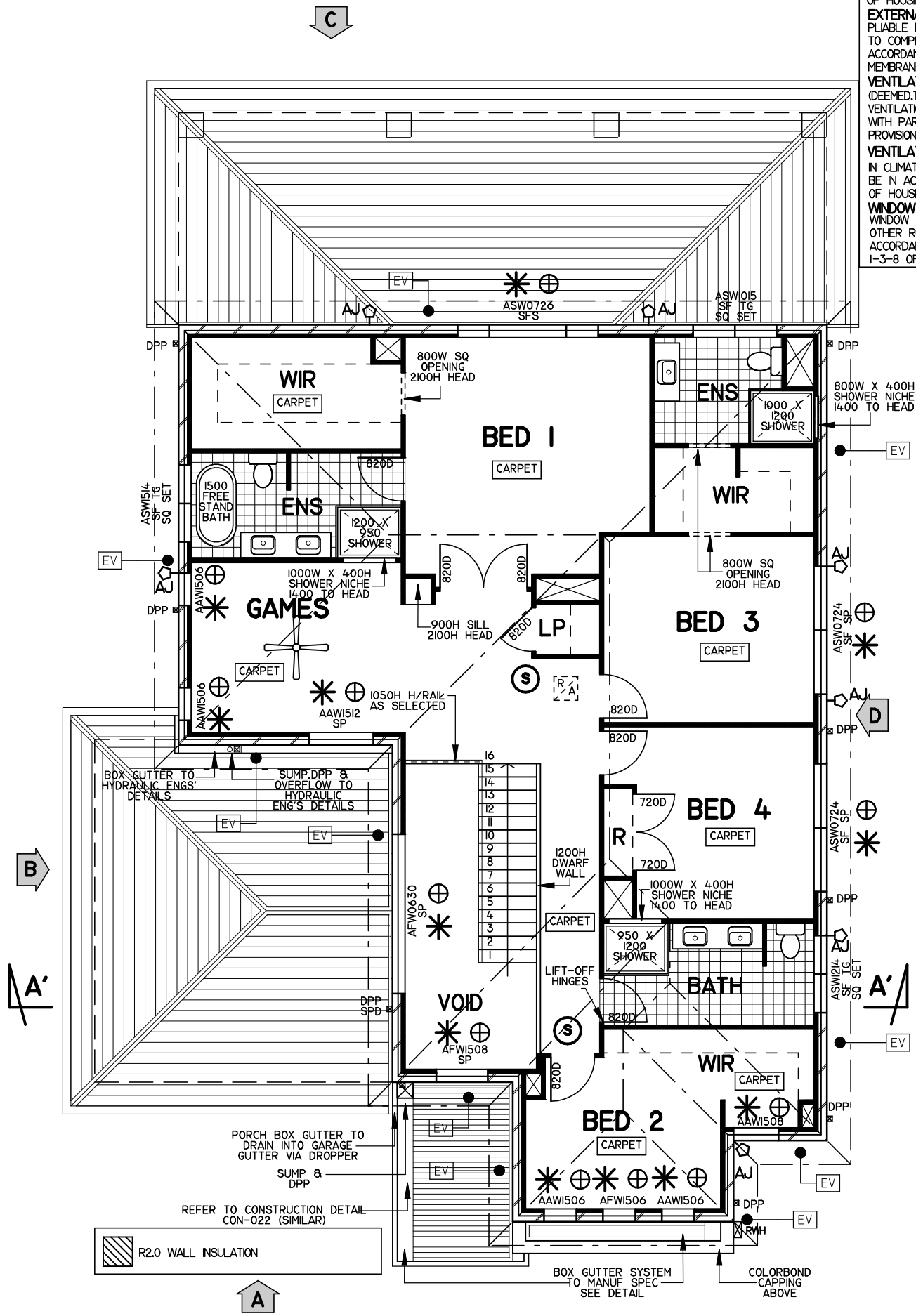
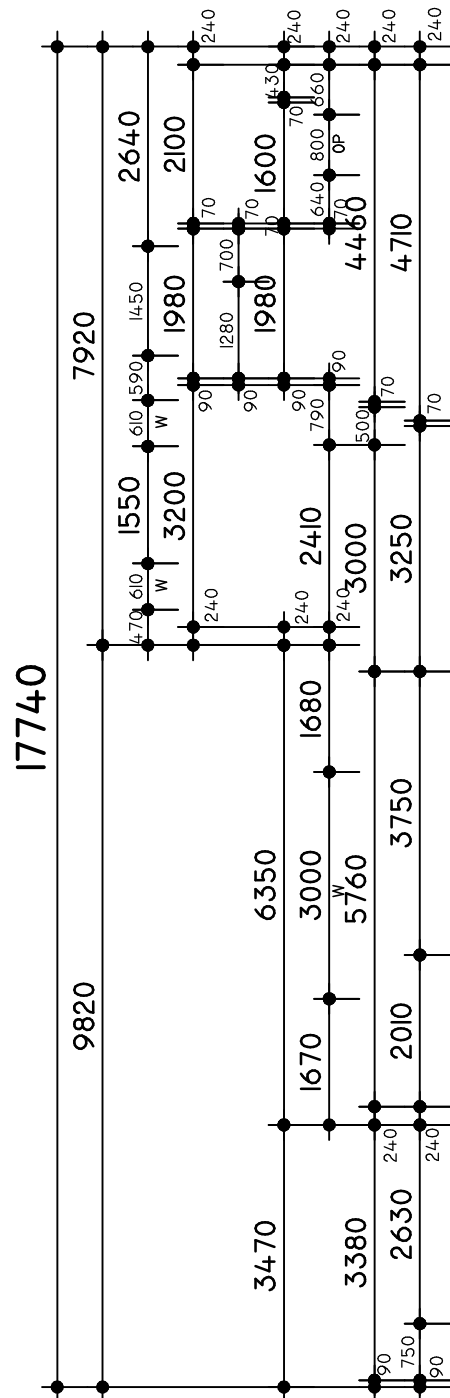
CONDENSATION MANAGEMENT
(DEEMED TO SATISFY PROVISION H4/D9)
CONDENSATION MANAGEMENT SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH 10.8.1 TO 10.8.3 OF HOUSING PROVISIONS OF THE NCC

EXTERNAL WALL CONSTRUCTION
PLIABLE BUILDING MEMBRANE IN EXTERNAL WALL: TO COMPLY WITH AS4200.1 & INSTALLED IN ACCORDANCE WITH AS4200.2 PLIABLE BUILDING MEMBRANE TO MEET CLIMATE ZONE 5 OR 6

VENTILATION
(DEEMED TO SATISFY PROVISION H4/D7)
VENTILATION TO BE PROVIDED IN ACCORDANCE WITH PART 10.6.J TO 10.6.3 OF HOUSING PROVISIONS OF THE NCC

VENTILATION OF ROOF SPACES
IN CLIMATE ZONES 6, 7 AND 8, A ROOF MUST BE IN ACCORDANCE WITH PART 10.8.3 OF HOUSING PROVISIONS OF THE NCC

WINDOW PROTECTION
WINDOW PROTECTION TO BEDROOMS & TO OTHER ROOMS OTHER THAN BEDROOMS TO BE IN ACCORDANCE TO HOUSING PROVISION 1-3-7 TO 1-3-8 OF NCC



FIRST FLOOR PLAN 1:100

Certificate No. 0012914305

Scan QR code or follow website link for rating details.

Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 6 Caloola Street, CONDELL PARK, NSW, 2200

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Version 2025.0

LEVEL 4, 2 BURBANK PLACE
NORMEST NSW 253
TEL: (02) 8859 5700

FOR MR R. HATEM & MRS S. HATEM

AT LOT 20, NO.6 CALOOLA ST. CONDELL PARK

TYPE MARINA 42 MK2 (LIFESTYLE SERIES)

FACADE BALMAIN

MASTER AND-00000

DWG NO. AND-462

PAGE NO. 4 OF 14

UBDSYD MAP271 REV54 REF-EI

JOB NO. 0029522

HAND LH

25-27 SOLENT CIRCUIT,
NORMEST - LEVEL 2 SUITE
26 - MACARTHUR POINT
PHONE: (02) 8824 3533
WWW.ANDESIGNS.COM.AU

ISSUE	DATE	REVISION	DRAWN
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THE NCC

WET AREA WATERPROOFING
(H4D1) WET AREA FLASHING TO MEET
CLAUSES 10.21 TO 10.2.6 AND 10.2.2 OF
ABCB HOUSING PROVISIONS OF NCC 2022

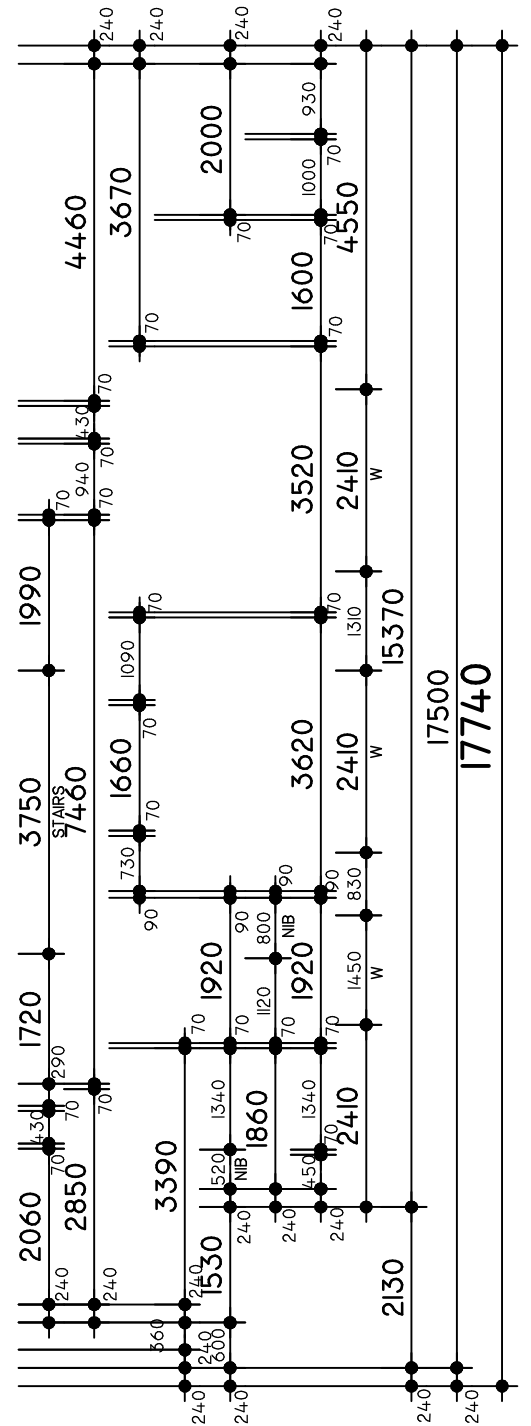
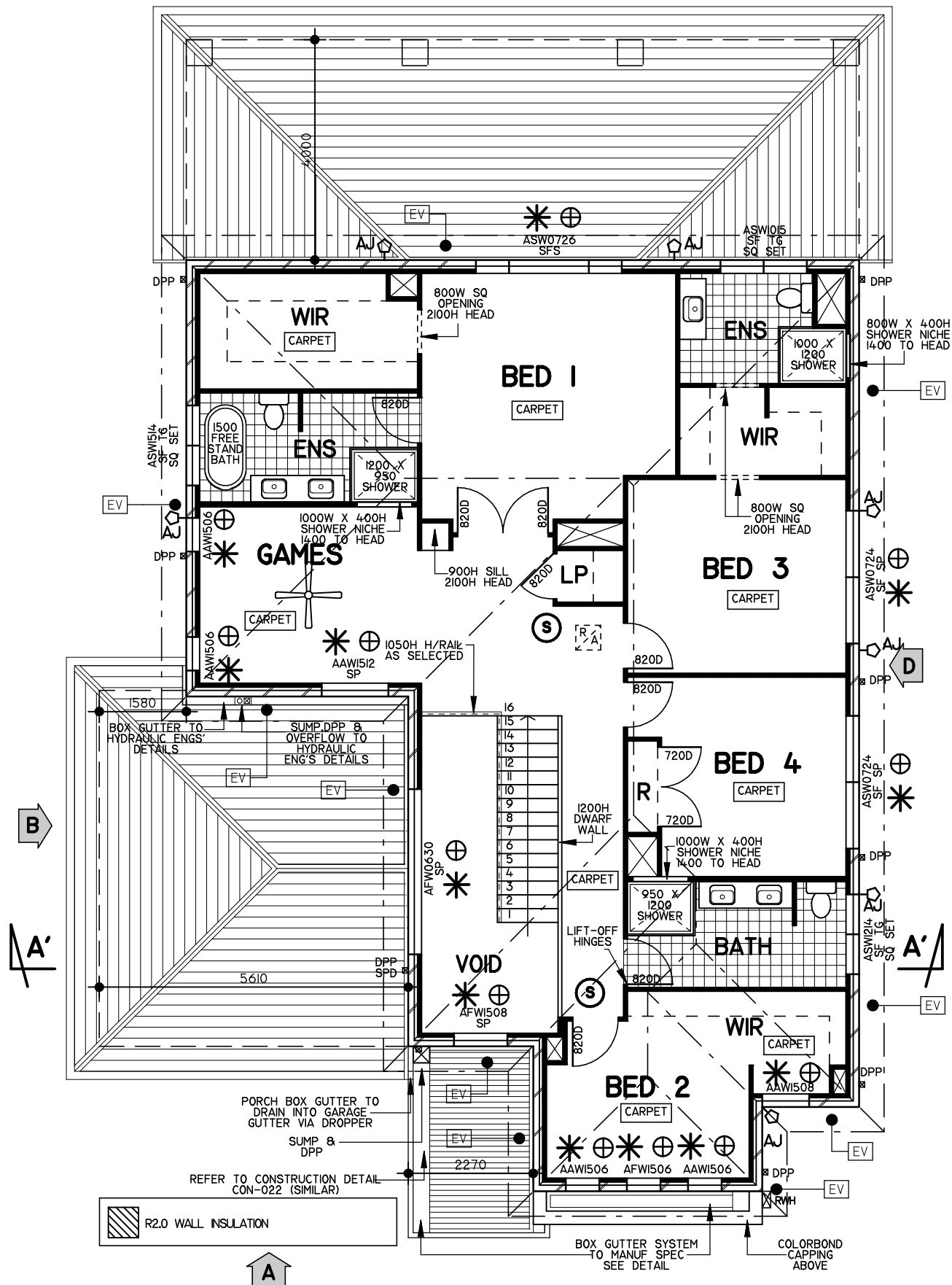
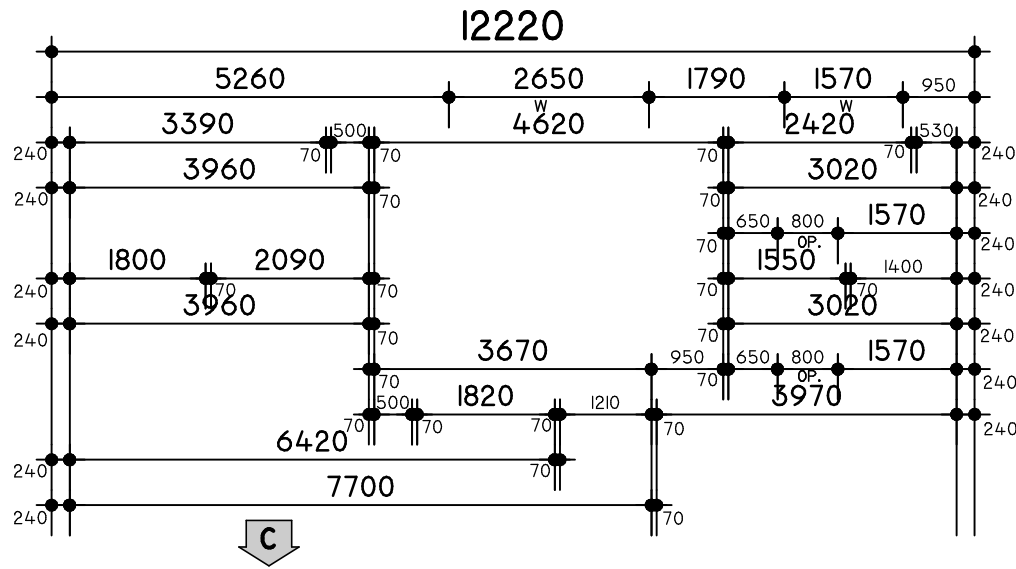
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PLIABLE BUILDING MEMBRANE IN EXTERNAL WALL:
TO COMPLY WITH AS4200J & INSTALLED IN
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ACCORDANCE TO HOUSING PROVISION 11-3-7 TO
11-3-8 OF NCC



 Heden brae homes		LEVEL 4, 2 BURBANK PLACE NORWEST NSW 2653 TEL: (02) 8859 5700	
FOR	MR R. HATEM & MRS S. HATEM		UBD:SYD MAP:271 REV:54 REF:EI
AT	LOT 20, NO.6 CALOOLA ST. CONDELL PARK		DP24-0882
TYPE	MARINA 42 MK2 (LIFESTYLE SERIES)	JOB NO. 0029522	
FACADE	BALMAIN	HAND LH	
MASTER AND-00000	DWG NO. AND-4162	PAGE NO. 5 OF 14	

Certificate No. 0012914305

Scan QR code or follow website link for rating details.

Assessor name lan Fry

Accreditation No. DMN/12/1441

Property Address 6 Caloola Street, CONDELL PARK
NSW 2200

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25-27 SOLENT CIRCUIT,
NORWEST - LEVEL 2 SUITE
206 - MACARTHUR POINT
PHONE: (02) 8824 3533
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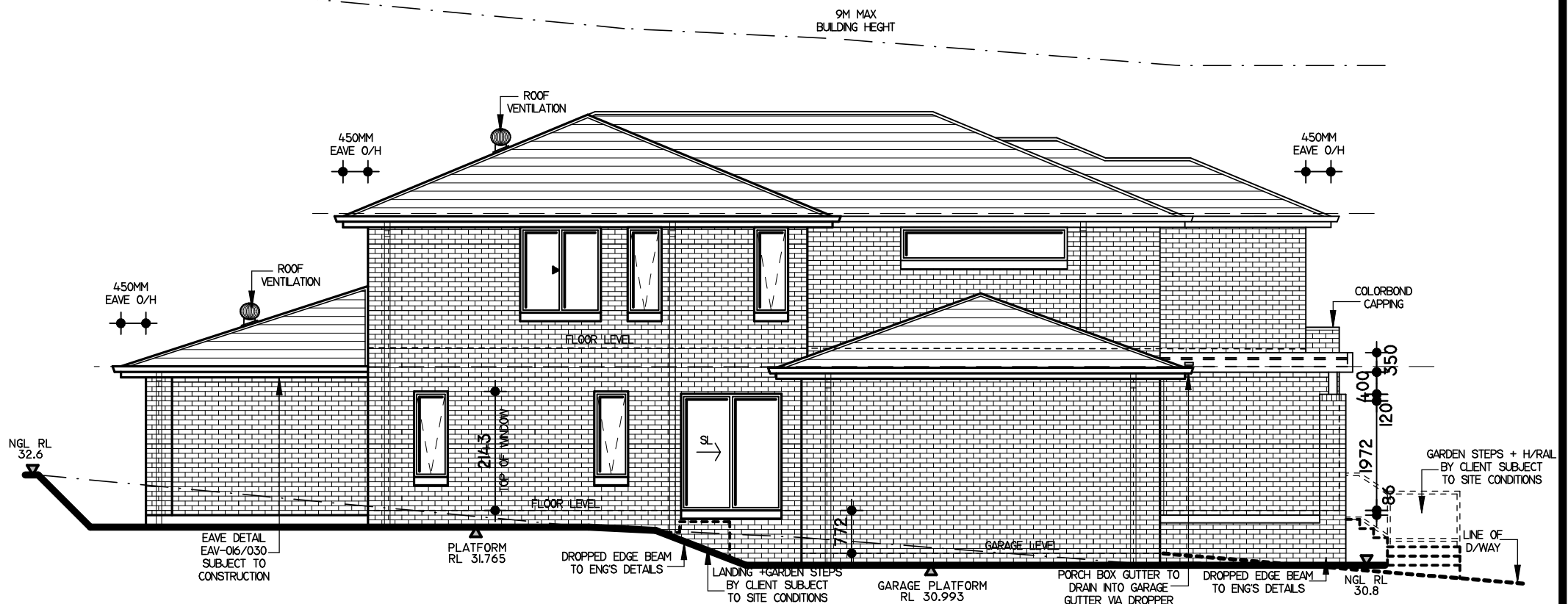
ISSUE	DATE	REVISION	DRAWN
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D	22.04.26	BASK/AMENDMENTS	JP

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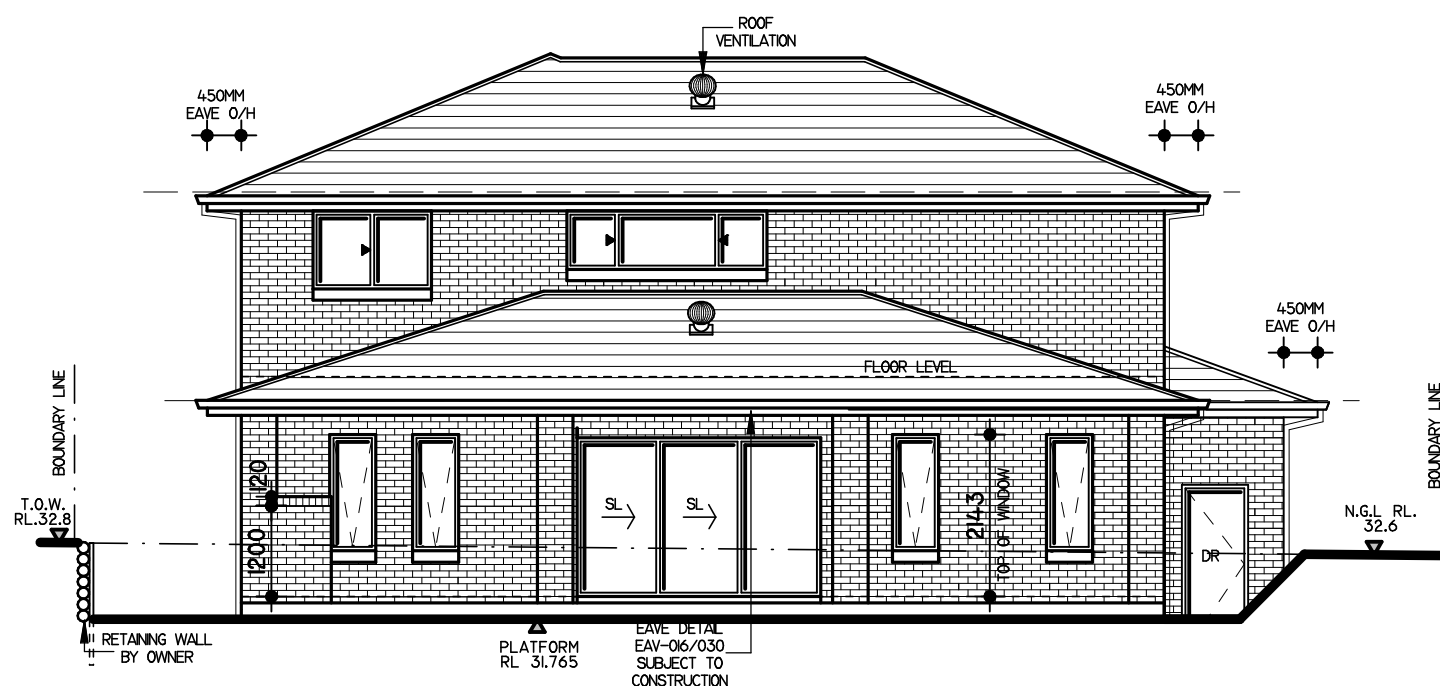
10/2025



SOUTH ELEVATION 1:100



WEST ELEVATION 1:100



NORTH ELEVATION 1:100

heden brae homes			LEVEL 4, 2 BURBANK PLACE NORWEST NSW 2153 TEL: (02) 8859 5700
FOR	MR R. HATEM & MRS S. HATEM	UBD:SYD MAP:271 REV:54 REF:1	
AT	LOT 20, NO.6 CALOOLA ST. CONDELL PARK	DP240882	
TYPE	MARINA 42 MK2 (LIFESTYLE SERIES)	JOB NO. 0029522	
FACADE	BALMAIN	HAND LH	
MASTER AND-00000	DWG NO. AND-4462	PAGE NO. 6 OF 14	

Certificate No. 0012914305

Scan QR code or follow website link for rating details.

Assessor name Ian Fry

Accreditation No. DMN/12/1441

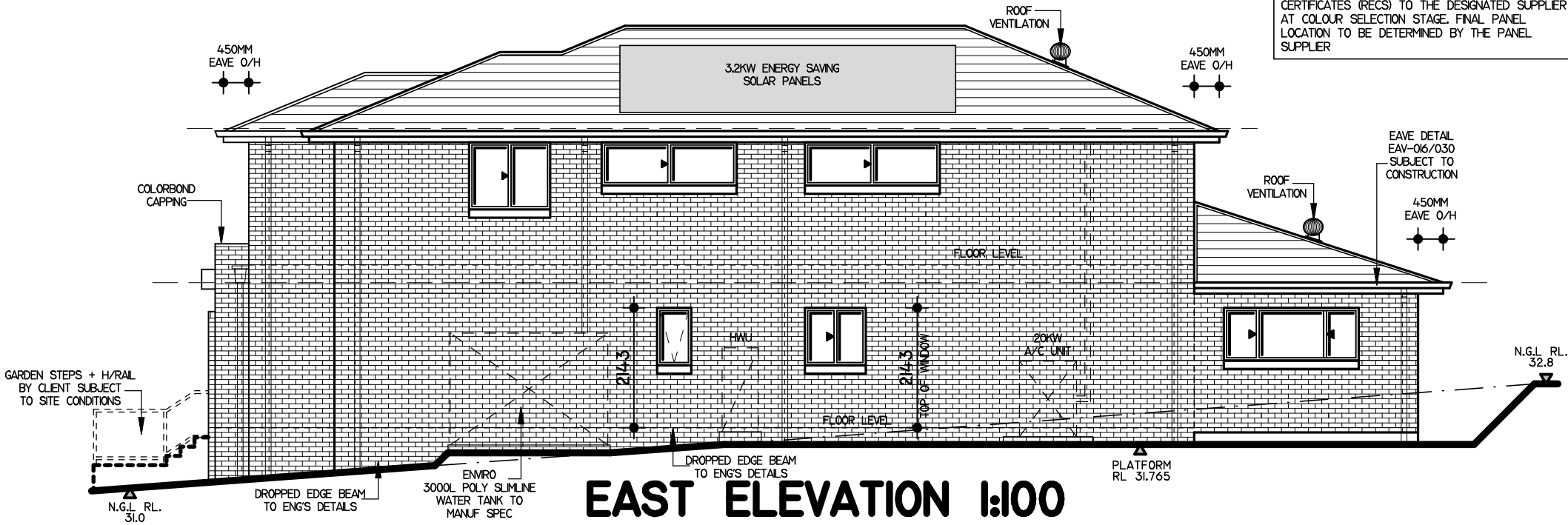
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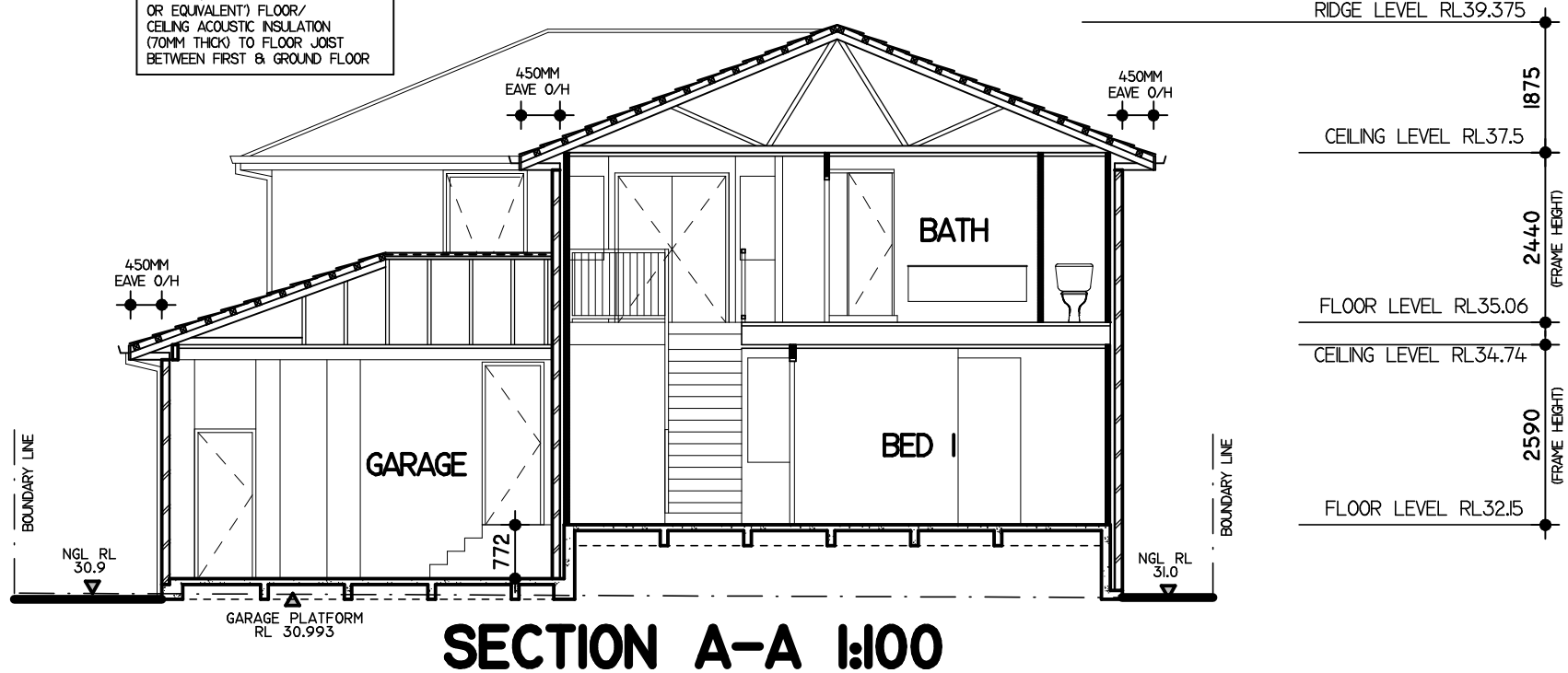
Version 2025.0

a&n 25-27 SOLENT CIRCUIT, NORWEST - LEVEL 2 SUITE 26 - MACARTHUR POINT PHONE: (02) 8824 3533 WWW.ANDDESIGNS.COM.AU			
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PROVIDE SOLAR ELECTRICITY SYSTEM INCLUDING INSTALLATION & CONNECTION TO METER BOX. ADDITIONAL METER CHARGES/ INSTALLATION FEES MAYBE CHARGED BY YOUR DISTRIBUTION COMPANY. THE CLIENT ACKNOWLEDGES THAT THEY MUST ASSIGN THEIR RENEWABLE ENERGY CERTIFICATES (RECS) TO THE DESIGNATED SUPPLIER AT COLOUR SELECTION STAGE. FINAL PANEL LOCATION TO BE DETERMINED BY THE PANEL SUPPLIER



- NOTES**
- ROOF SARKING
 - ROOF VENTILATION
 - WALL WRAP TO EXTERNAL WALLS
 - R2.0 (SOUNDSCREEN OR EQUIVALENT) FLOOR/CEILING ACOUSTIC INSULATION (70MM THICK) TO FLOOR JOIST BETWEEN FIRST & GROUND FLOOR



- SUMMARY OF MATERIALS**
- 22.5° ROOF PITCH CONCRETE ROOF TILES TO UPPER ROOF
 - 18° ROOF PITCH CONCRETE ROOF TILES TO ALFRESCO ROOF
 - 20° ROOF PITCH CONCRETE ROOF TILES TO GARAGE ROOF
 - 1" KLIPLOCK ROOF OVER PORCH (OR SIMILAR)
 - COLORBOND GUTTER & FASCIA
 - CHARGED PVC DOWNPIPES TO BE PAINTED
 - PRE-FABRICATED TERMITE RESISTANT FRAMES & ROOF TRUSSES TO MANUFACTURE DETAILS & SPECIFICATIONS
 - DIMENSIONS ARE TO FRAME SIZES ONLY EXCLUDES GYPROCK & SKIRTINGS THEREFORE THEY ARE NOT FINISHED ROOM SIZES
 - FACE BRICKWORK
 - DECORATIVE MOLDINGS AS SELECTED
 - ALUMINIUM WINDOWS & DOORS
 - FRONT ENTRY DOOR & FRAME TO BE PAINT GRADE
 - SECTIONAL OVERHEAD GARAGE DOOR

heden brae homes

LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2153
TEL: (02) 8859 5700

FOR **MR R. HATEM & MRS S. HATEM**

UBD:SYD
MAP:271
REV:54
REF:81

AT **LOT 20, NO.6 CALOOLA ST. CONDELL PARK**

DP24-0882

TYPE **MARINA 42 MK2 (LIFESTYLE SERIES)**

JOB NO. **0029522**

FACADE **BALMAIN**

HAND **LH**

MASTER **AND-00000**

DWG NO. **AND-4462**

PAGE NO. **7 OF 14**

Certificate No. 0012914305

Scan QR code or follow website link for rating details.

Assessor name **Ian Fry**

Accreditation No. **DMN/12/1441**

Property Address **6 Caloola Street, CONDELL PARK NSW, 2200**

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25-27 SOLENT CIRCUIT,
NORWEST - LEVEL 2 SUITE
26 - MACARTHUR POINT
PHONE: (02) 8824 3533
WWW.ANDESIGNS.COM.AU

ISSUE	DATE	REVISION	DRAWN
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BI	22.01.26	RESITE	JK
C	18.3.26	CC PLANS	RL
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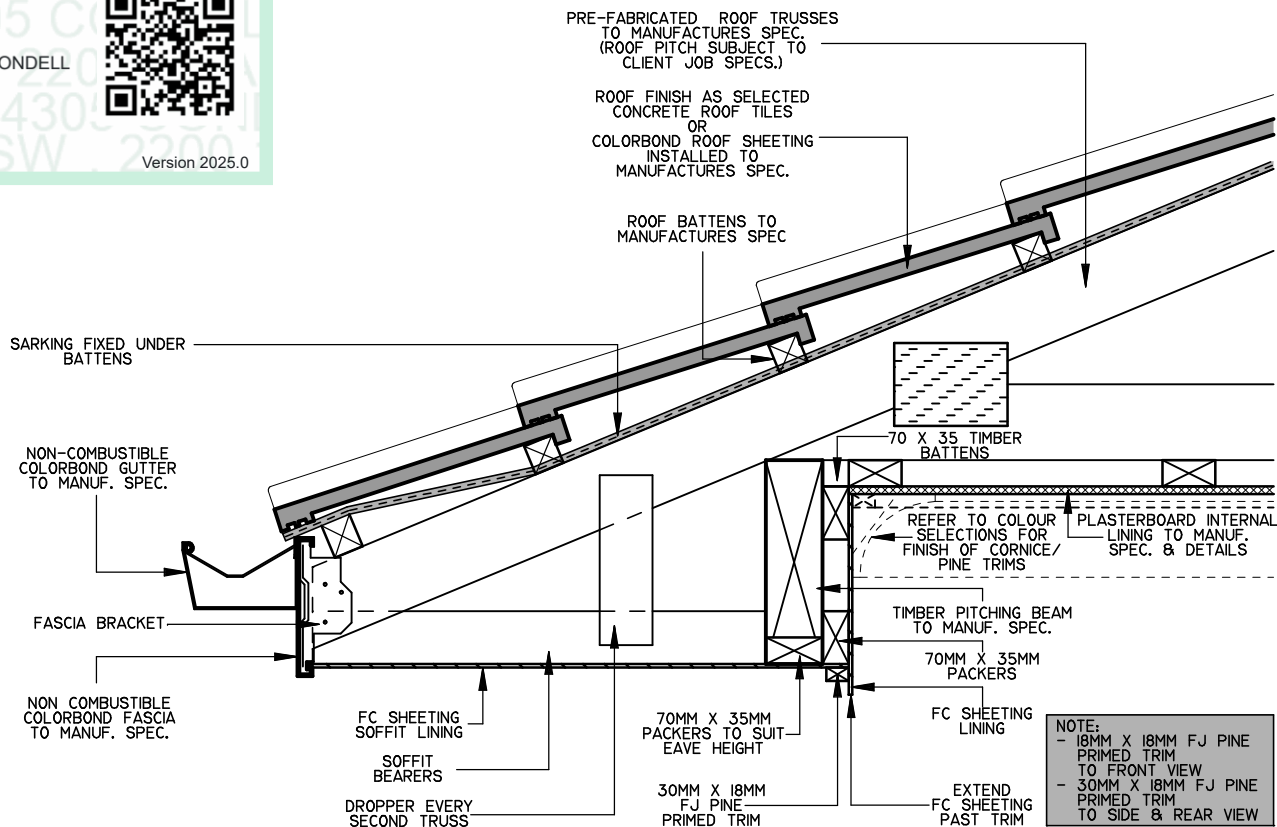
Assessor name Ian Fry

Accreditation No. DMN/12/1441

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NSW, 2200

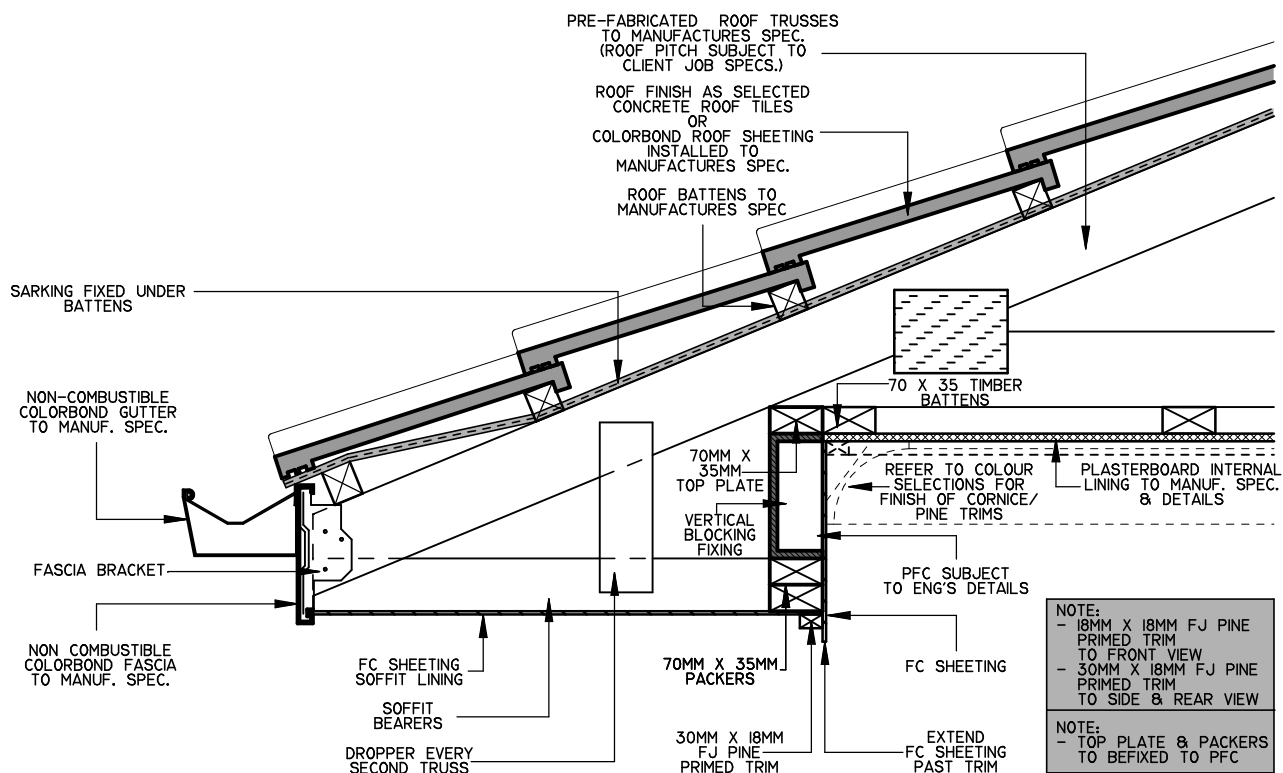
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COFFER EAVE DETAIL 1:10

EAVE WITH TIMBER PITCHING BEAM AS NOMINATED - EAV-016



COFFER EAVE DETAIL 1:10

EAVE WITH PFC PITCHING BEAM AS NOMINATED - EAV-030

beden brae
homes

LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2153
TEL: (02) 8859 5700

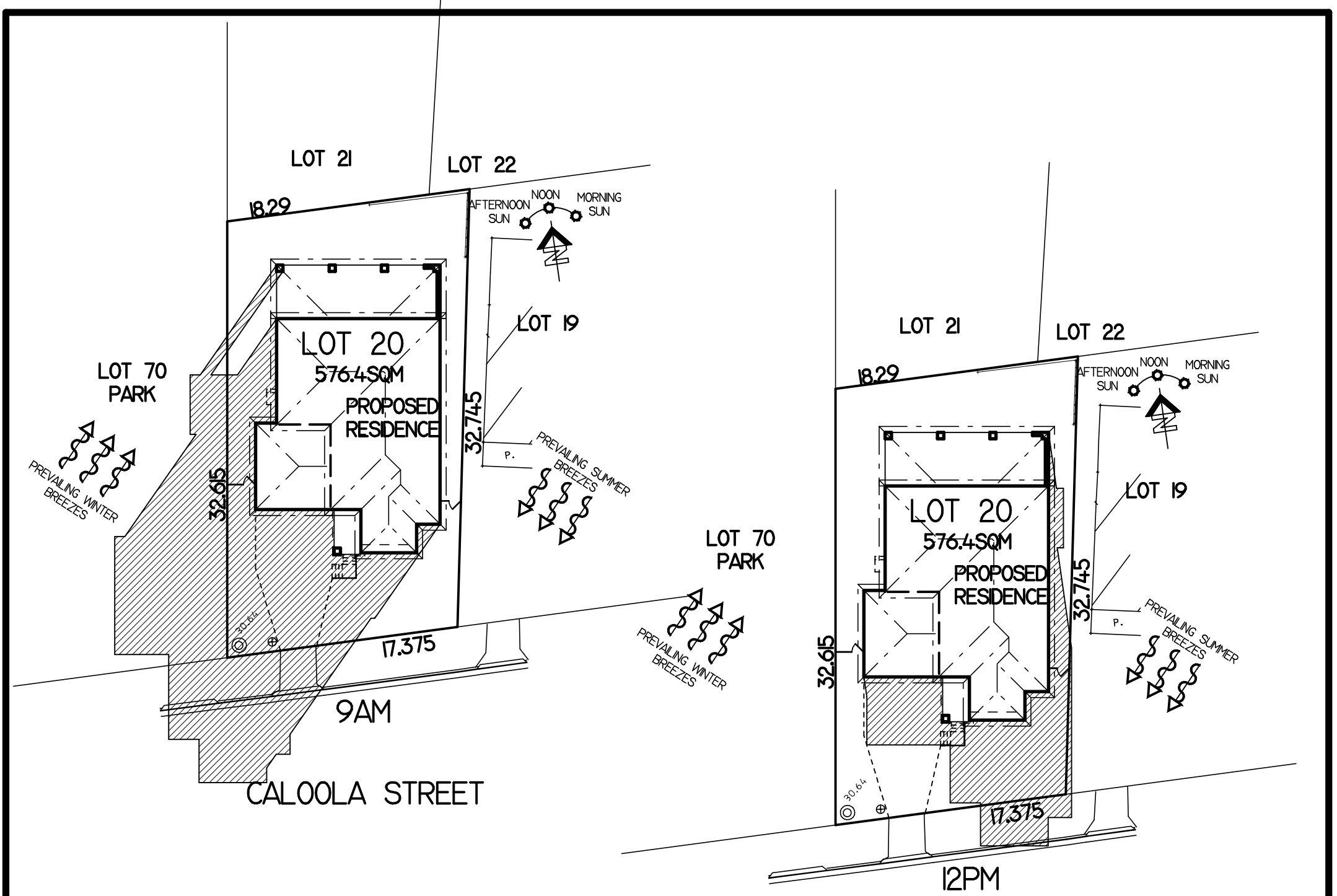
FOR	MR R. HATEM & MRS S. HATEM	UBD:SYD MAP:271 REV:54 REF:81
AT	LOT 20, NO.6 CALOOLA ST. CONDELL PARK	DP24-0882
TYPE	MARINA 42 MK2 (LIFESTYLE SERIES)	JOB NO. 0029522
FACADE	BALMAIN	HAND LH
MASTER AND-00000	DWG NO. AND-4462	PAGE NO. 8 OF 14

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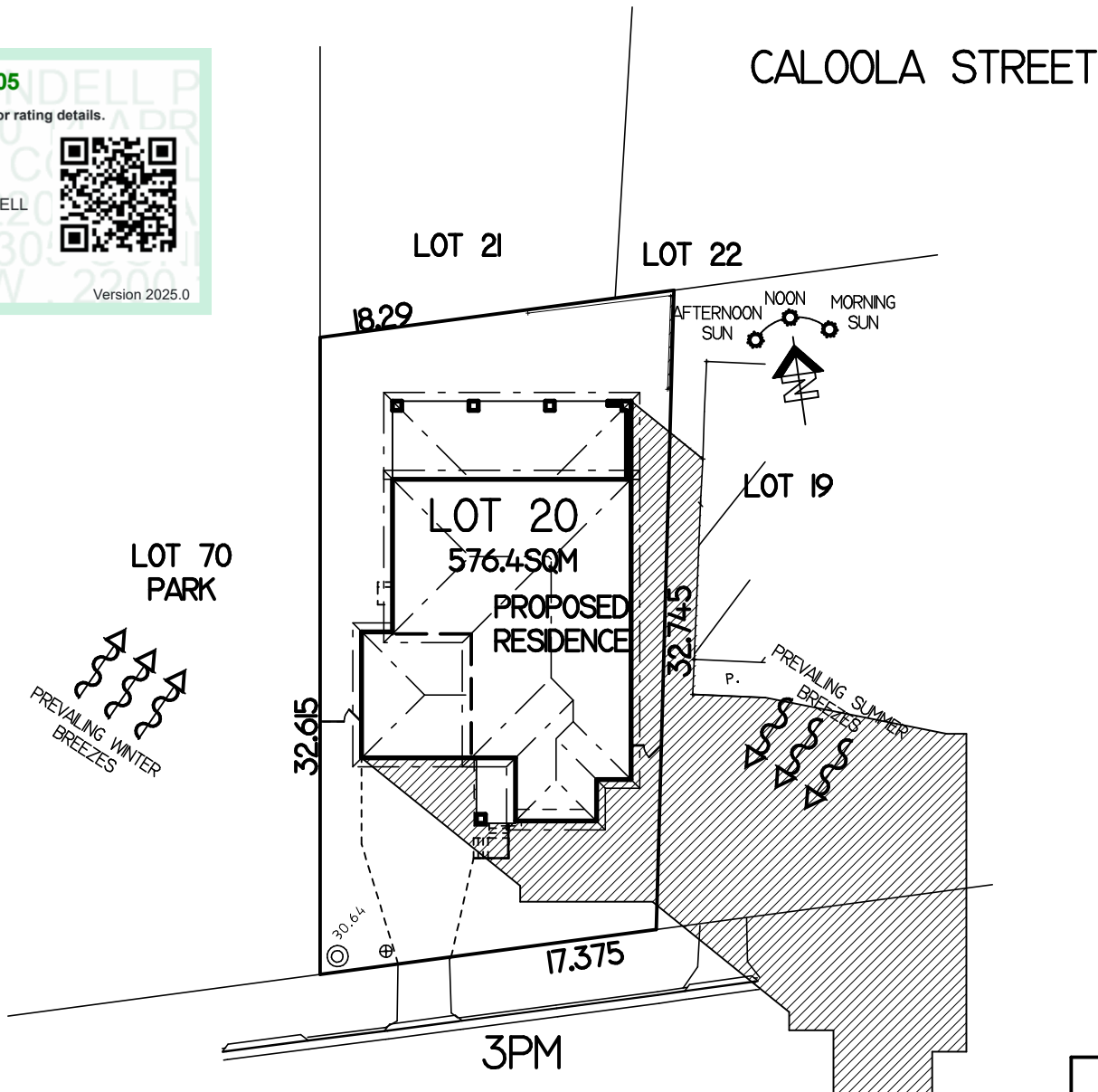
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heden brae homes
LEVEL 4, 2 BURGESS PLACE
NORWEST NSW 2153
TEL: (02) 8859 5700

FOR **MR R. HATEM & MRS S. HATEM**
AT **LOT 20, NO.6 CALOOLA ST. CONDELL PARK**
TYPE **MARINA 42 MK2 (LIFESTYLE SERIES)**
FACADE **BALMAIN**
MASTER AND-00000

UBD:SYD
MAP:271
REV:54
REF:1

JOB NO. **0029522**
HAND **LH**
PAGE NO. **9 OF 14**

CALOOLA STREET
SHADOW DIAGRAMS
JUNE 21ST MID-WINTER 1:350

a&n 25-27 SOLENT CIRCUIT, NORWEST - LEVEL 2 SUITE 26 - MACARTHUR POINT
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NOTE: CONSULTANTS/
CONTRACTORS/SUPPLIERS
DRAINAGE POINTS ARE TO BE
DETERMINED ON SITE BY
PLUMBER WITH REFERENCE TO
CHOSEN PLUMBING FIXTURES.
A&N TAKES NO RESPONSIBILITY
FOR ANY DISCREPANCIES



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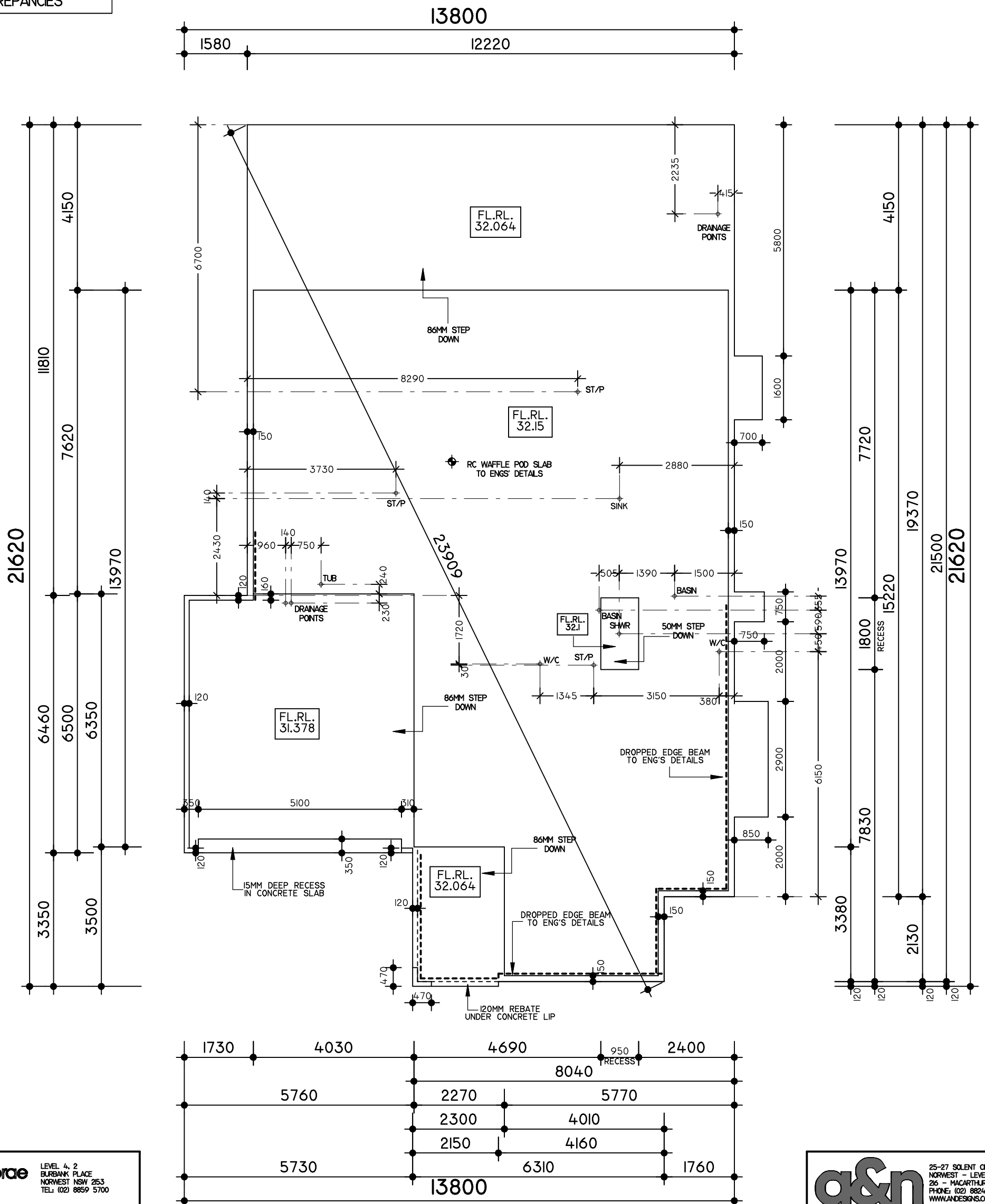
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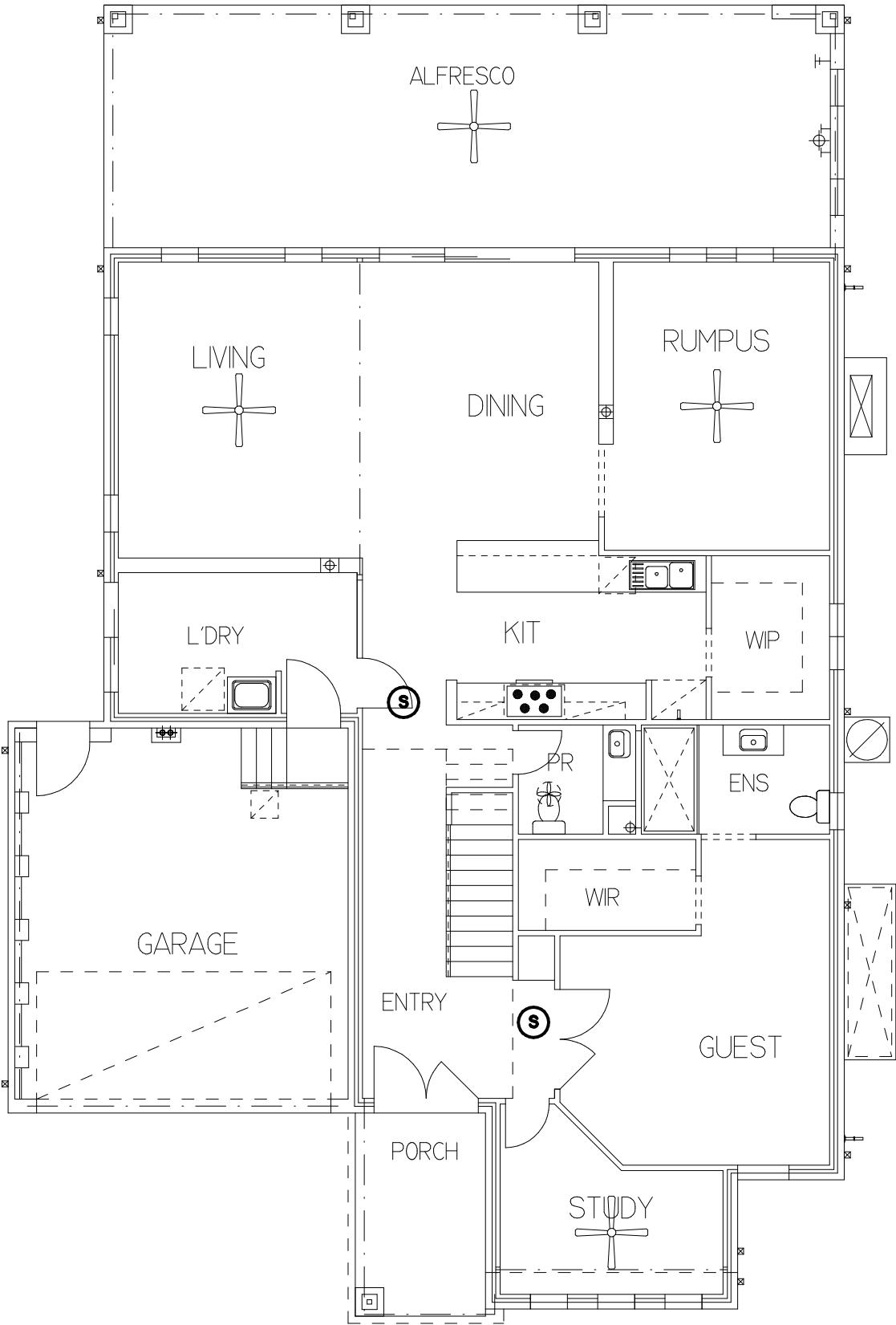
NOTE: CONSULTANTS/
CONTRACTORS/SUPPLIERS
FINAL LOCATIONS OF FLOOR
WASTES ARE TO BE
DETERMINED ON SITE BY
BUILDER/PLUMBER WITH
CONSIDERATION OF NCC
REQUIREMENTS OF MAXIMUM
FALL TO FLOOR WASTES



SLAB FL00R PLAN 1:100

 beden brae homes		LEVEL: 4, 2 BURBANK PLACE NORTHWEST NSW 2513 TEL: (02) 8859 5700	
FOR	MR R. HATEM & MRS S. HATEM		UBD:SYD MAP:271 REV:54 REF:1
AT	LOT 20, NO.6 CALOOLA ST. CONDELL PARK		DP24-0882
TYPE	MARINA 42 MK2 (LIFESTYLE SERIES)	JOB NO. 0029522	
FAÇADE	BALMAIN		HAND LH
MASTER AND-00000	DWG NO. AND-4612	PAGE NO. 10 OF 14	

		25-27 SOLENT CROUT, NORMWEST – LEVEL 2, SUITE 2/6 – MACARTHUR POINT PHONE: (02) 8824 5533 WWW.ANDESIGNS.COM.AU	
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GROUND FLOOR
ELECTRICAL PLAN 1:100



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BASIX & THERMAL COMMITMENTS



Date 14/04/26

Job Number Hatern 0029522

Assessment 1

Unit/Number 6

Lot 20

DP 240882

Street Caloola Street

Suburb CONDELL PARK

Post Code 2200

State NSW

REQUIRED CHANGES HIGHLIGHTED

Floors

	Material	Added Insulation	To Cantilever/Suspended	Floor Coverings
Ground	*Waffle Pod 300mm(85mm			As shown on plans
1st Floor	Steel	R2.0 Insulation*	Between Levels Throughout	

Walls

	Colour	External Material	Insulation	Internal Material	Internal Insulated	
Ground	Default	Brick Veneer Steel Frame	R2.5, air gap	Plaster Steel 90mm	L'dry	R2.5
1st Floor	Default	Brick Veneer Steel Frame	R2.5, air gap	Plaster Steel 70mm	Bath	R2.0
				Garage		R2.5

Ceilings

	Material	Insulation to Roof Above
Ground	Plaster Timber Frame	R6.0 R2.5 to Low Edge
1st Floor	Plaster Timber Frame	R6.0 R2.5 to Low Edge
Garage	Plaster Timber Frame	No Insul

Roof

	Insulation	Material	Colour	Ventilated
Ground	Sarking	Tiles	Default	Yes
1st Floor	Sarking	Tiles	Default	Yes
Garage	Sarking	Tiles	Default	No

Glazing

Please Refer to the NatHERS (or BASIX) Certificate for all external glazing. To comply you must use glazing with the same opening and frame type, the U value must be the same or lower and have an SHGC value within the range given. THE BELOW GLAZING NOMINATIONS ARE AN INDICATION ONLY PLEASE REFERENCE THE CERTIFICATE(S).

Supplier	Glazing Type Required	Location(s) of Glazing Required
Stegbar	Standard Single Clear	All Wet Areas
	Low-e Double Glaze	Throughout excluding wet areas

Notes

Standard timber framed entry door fully glazed included.

Refer to NatHERS Certificate for location of PBAS2 Clear glazing

Ceiling Fans

Location	Fan Size
Living, Rumpus and Games room	*Min.1200mm

Water

Landscape Area	Low Water Area	Rain Water Tank, connected to,	Roof Area to Tank	Recycled Water, connected to,
112 m2	m2	3,000L Garden, WC, Laundry	Min. Required	No
Showerheads		Toilets	Kitchen Taps	Swimming Pool
3 Star > 7.5 but less < or = 9.0 litres per minute		3 Star	3 Star	No

Energy

Hot Water	Rating	Air Conditioning	Other
Electric Storage		Cooling 3.0 - 3.5 EER - Heating 3.5 - 4.0 EER	Outdoor Cloths Line
Solar Photovoltaic System	Orientation	Cooking	
Yes	3.2 KW East	22.5	Induction Cooktop/ Electric Ove

Ventilation

Laundry	Bathroom	Kitchen
Natural Ventilation- external window	Ducted	Ducted

Notes

*1200mm fans specified in lieu of 1300mm due to software limitations

19 - 3 Provide R2.0 (Soundscreen 'or equivalent') Floor/Ceiling Acoustic Insulation (70mm thick) to the following areas -

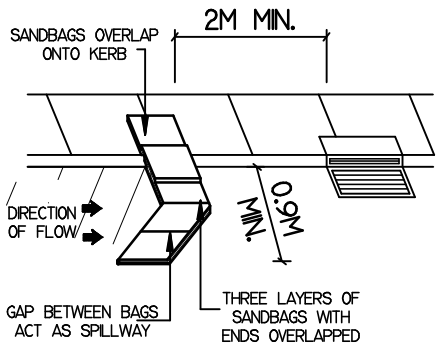
* Floor joist between First Floor and Ground Floor

The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated. All new residential buildings must be constructed in accordance with Building BCA Part 3. 12. 1, Build Sealing 3CA Part 3. 12. 3. Insulation must be installed in accordance with AS3995.

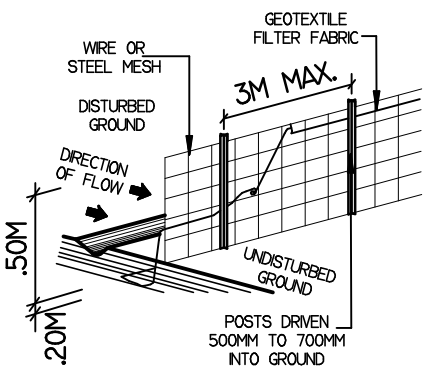
Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, BDAV 12/1441, COLA 2011291

FIRST FLOOR
ELECTRICAL PLAN 1:100

KERB INLET
SEDIMENT TRAP



SILT FENCE DETAIL



SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF N.S.W.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT

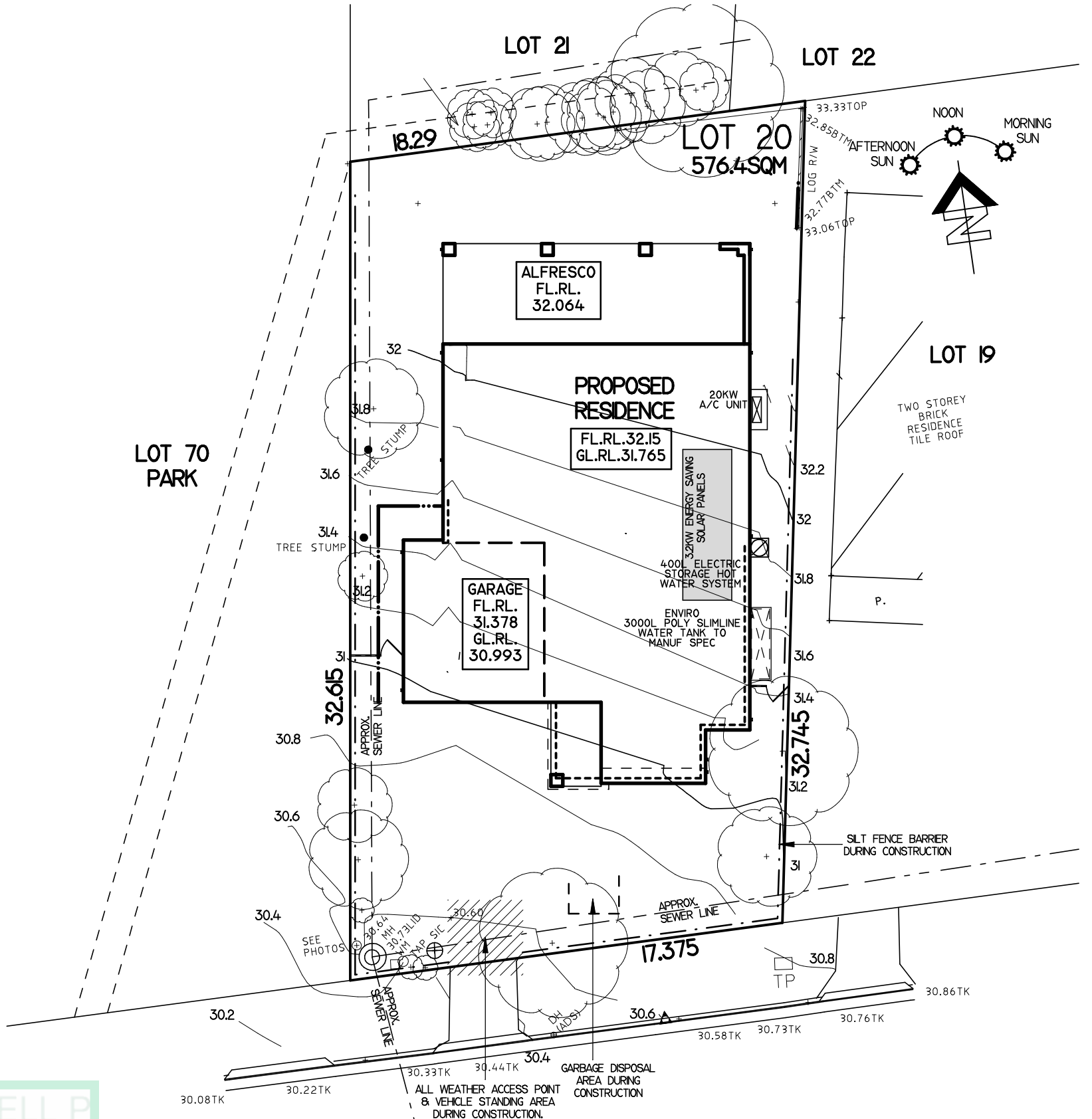
SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD

ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES). FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.



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Assessor name: Ian Fry

Accreditation No.: DMN/12/1441

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CALoola STREET
SITE SEDIMENT
CONTROL PLAN 1:200

heden brae homes

LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2153
TEL: (02) 8859 5700

FOR: MR R. HATEM & MRS S. HATEM

AT: LOT 20, NO.6 CALoola ST. CONDELL PARK

TYPE: MARINA 42 MK2 (LIFESTYLE SERIES)

FACADE: BALMAIN

MASTER AND-00000

DWG NO. AND-4612

PAGE NO. 14 OF 14

JOB NO. 0029522

HAND: LH

a&n

25-27 SOLENT CIRCUIT,
NORWEST - LEVEL 2 SUITE
26 - MACARTHUR POINT
PHONE: (02) 8824 3533
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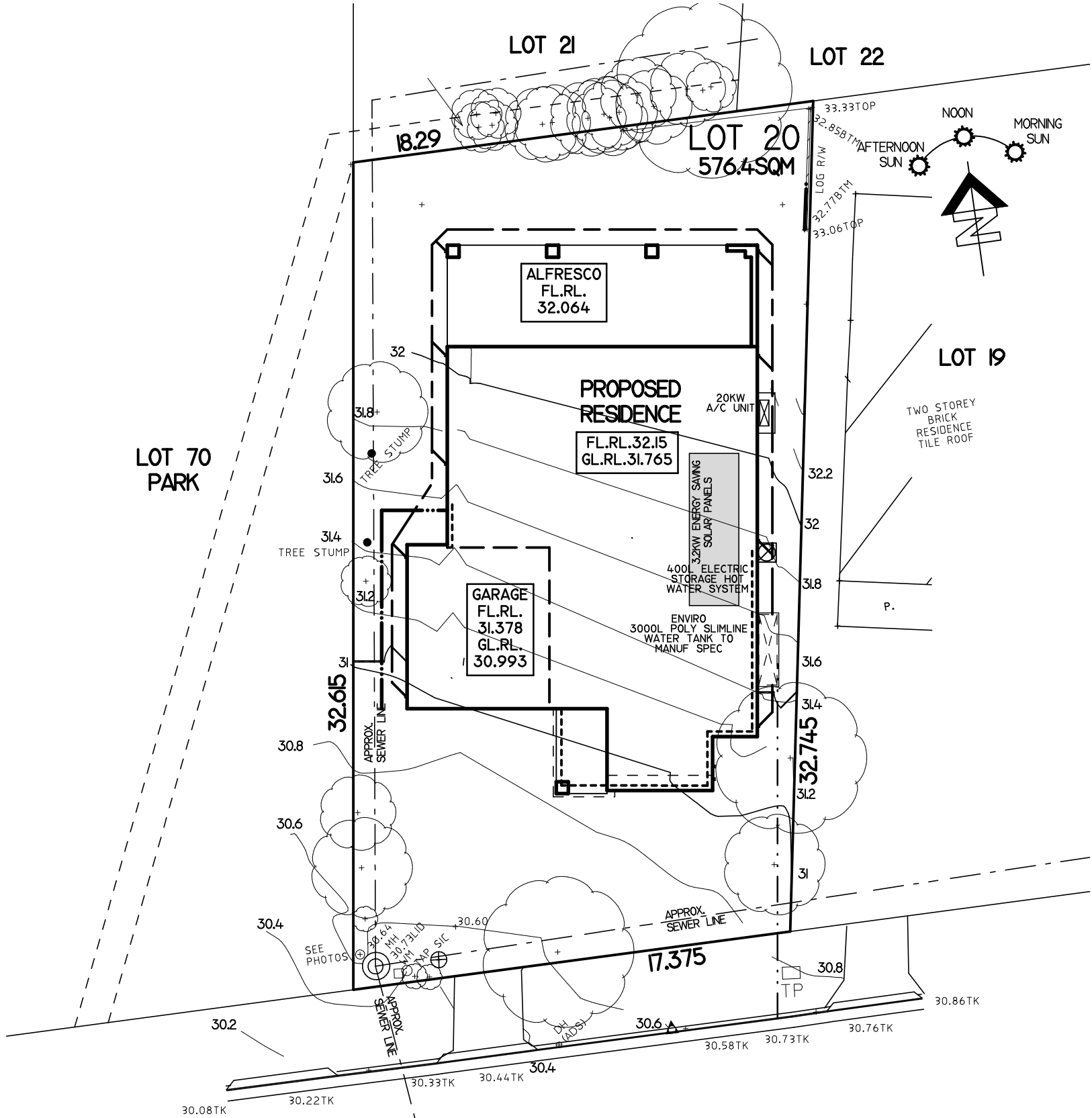
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STORMWATER LEGEND
(TANK & KERB & GUTTER)

DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

DENOTES STORMWATER TO BE DIRECTED INTO KERB & GUTTER FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

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CALOOLA STREET
**STORMWATER CONCEPT
PLAN 1:200**



LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2153
TEL: (02) 8859 5700

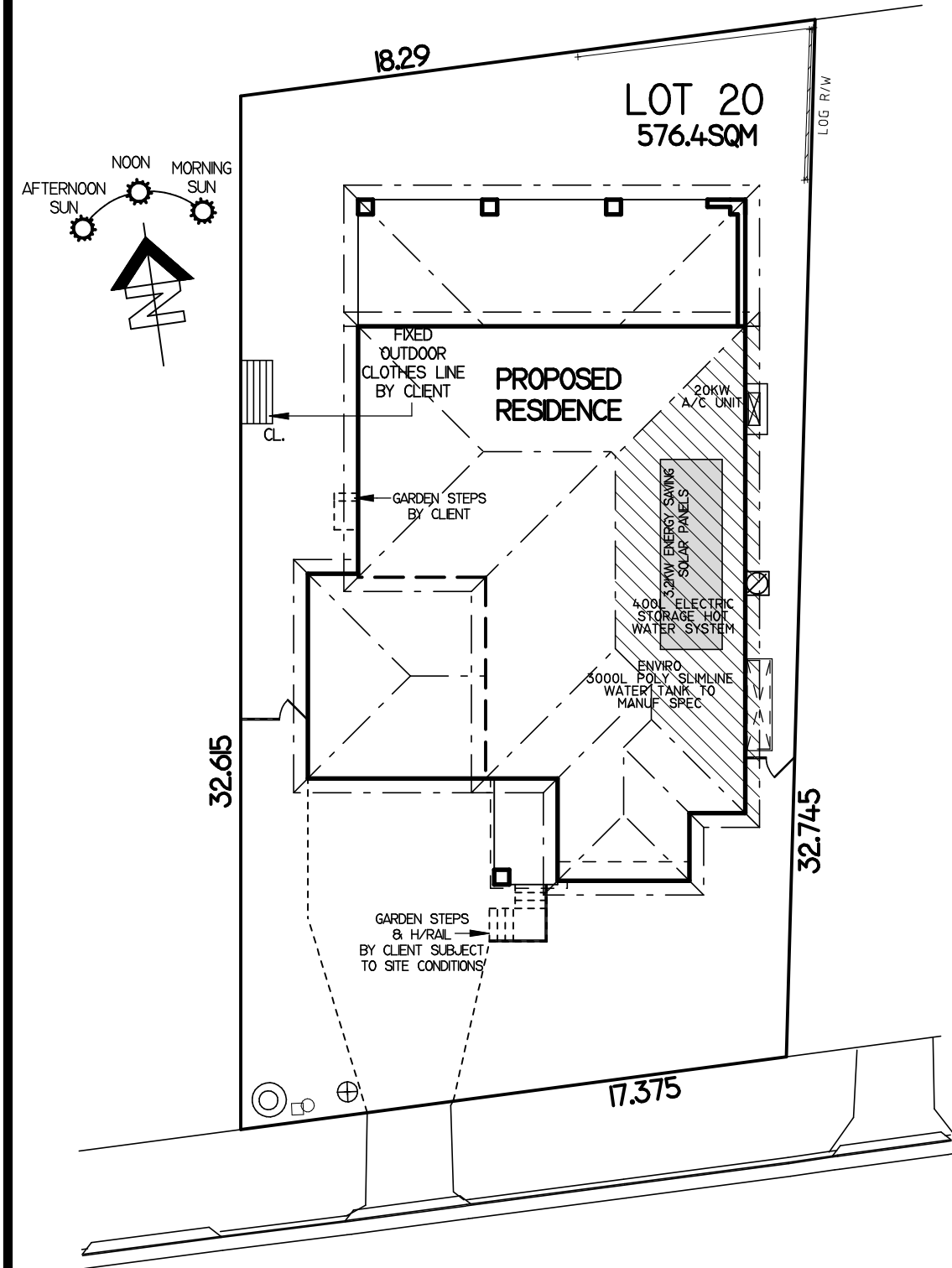
FOR	MR R. HATEM & MRS S. HATEM	UBD:SYD MAP:271 REV:54 REF:1
AT	LOT 20, NO.6 CALOOLA ST. CONDELL PARK	DP24/0882
TYPE	MARINA 42 MK2 (LIFESTYLE SERIES)	JOB NO. 0029522
FACADE	BALMAIN	HAND LH
MASTER AND-00000	DWG NO. AND-4462	PAGE NO. 13 OF 14



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 DENOTES 50 SQM OF ROOF TO BE COLLECTED

BASIX SCORE

WATER - 40% (TARGET 40%)
THERMAL COMFORT - PASS (TARGET PASS)
ENERGY - 84% (TARGET 72%)
MATERIALS - -62 (TARGET N/A)

INSULATION

R2.5 EXTERNAL WALL INSULATION (EXCLUDING INTERNAL WALLS TO GARAGE)
R2.0 INTERNAL WALL INSULATION (INCLUDING INTERNAL WALLS TO BATH)
R2.5 INTERNAL WALL INSULATION (INCLUDING INTERNAL WALLS TO GARAGE, LAUNDRY)
R2.0 CEILING INSULATION (EXCLUDING GARAGE)
R2.5 CEILING INSULATION (EXCLUDING GARAGE)
R6.0 CEILING INSULATION (EXCLUDING GARAGE)

(BASIX CERTIFICATE NUMBER: 1841862S)

STORMWATER / WATER

SHOWERHEADS:
THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (>7.5 BUT <=9L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT

TOILETS:
THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS:
THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT

COLLECTION OF RAINWATER & STORMWATER:
RAINWATER TANK:
THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 3000 LITRES.

THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 50 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

ENERGY

HOT WATER:
THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT OR A SYSTEM WITH A HIGHER ENERGY RATING: ELECTRIC STORAGE

ACTIVE COOLING:
THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEM/S IN THE DEVELOPMENT, OR SYSTEM/S WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.0 - 3.5, 1 BEDROOM: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.0 - 3.5

ACTIVE HEATING:
THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM/S IN THE DEVELOPMENT, OR SYSTEM/S WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.5 - 4.0, 1 BEDROOM: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.5 - 4.0

VENTILATION:
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF
KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF
LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY: OPERATION CONTROL: N/A

NATURAL LIGHTING:
THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 4 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

ARTIFICIAL LIGHTING:
THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTINGDIODE (LED) LAMPS

ALTERNATIVE ENERGY:
THE APPLICANT MUST INSTALL A PHOTOVOLTAIC SYSTEM AS PART OF THE DEVELOPMENT. THE APPLICANT MUST CONNECT THIS SYSTEM TO THE DEVELOPMENT'S ELECTRICAL SYSTEM.

THE PHOTOVOLTAIC SYSTEM MUST CONSIST OF PHOTOVOLTAIC COLLECTORS WITH THE CAPACITY TO GENERATE AT LEAST 3.2 PEAK KILOWATTS OF ELECTRICITY, INSTALLED AT AN ANGLE BETWEEN 10 DEGREES AND 25 DEGREES TO THE HORIZONTAL FACING EAST

COOKING:
THE APPLICANT MUST INSTALL A INDUCTION COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER:
THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

THE APPLICANT MUST INSTALL A FIXED INDOOR OR SHELTERED CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

THERMAL COMFORT

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE CERTIFICATE N°0012914305 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE CERTIFICATE N°0012914305

		LEVEL 4, 2 BURBANK PLACE NORWEST NSW 2153 TEL: (02) 8859 5700	
FOR	MR R. HATEM & MRS S. HATEM		UBD:SYD MAP:271 REV:54 REF:81
AT	LOT 20, NO.6 CALOOLA ST. CONDELL PARK		DP240882
TYPE	MARINA 42 MK2 (LIFESTYLE SERIES)		JOB NO. 0029522
FACADE	BALMAIN		HAND LH
MASTER AND-00000	DWG NO. AND-4462	PAGE NO. 14 OF 14	

**Certificate No. 0012914305**
Scan QR code or follow website link for rating details.
Assessor name Ian Fry
Accreditation No. DMN/12/1441
Property Address 6 Caloola Street, CONDELL PARK NSW, 2200
hstar.com.au/QR/Generate?p=sxtOzEelz
Version 2025.0



 25-27 SOLENT CIRCUT, NORWEST - LEVEL 2 SUITE 26 - MACARTHUR POINT PHONE: (02) 8824 3533 WWW.ANDDESIGNS.COM.AU			
ISSUE	DATE	REVISION	DRAWN
A	18.1.25	SITING	JK
BI	22.01.26	RESITE	JK
C	18.3.26	CC PLANS	RL
D	22.04.26	BASIX/AMENDMENTS	JP
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